



August 9, 2019

Jennifer Jastremsky  
Community Development Department  
Draper City  
1020 E. Pioneer Road  
Draper, Utah 84020

RE: Notice of Approval for the TriView I Site Plan Request dated September 21, 2018 (copy enclosed)  
(the "Notice of Approval")

Dear Ms. Jastremsky:

The undersigned is the owner of the fee interest in the property reflected on the TriView I Site Plan approved pursuant to the Notice of Approval. As you know, pursuant to Section 9-5-090(J) of the Draper City Municipal Code, site plan approvals expire one year from the date of approval unless either (i) a building permit is obtained prior to such expiration or (ii) an extension is requested prior to the expiration and such extension is granted by the Planning Commission.

The undersigned has executed a term sheet with the primary lender for construction of the project and has made significant progress in obtaining required secondary financing. The undersigned expects to pull building permits and commence construction within six (6) months of the date the existing approval expires. As such, the undersigned has made substantial progress toward obtaining building permits for the project reflected on the TriView I Site Plan.

In accordance with Sections 9-5-030(J) and 9-5-090(J) of the Draper City Municipal Code, the undersigned hereby requests that the approval described in the Notice of Approval be extended for a period of six (6) months.

If you have any questions regarding this request, please contact Cara Hicks at 801.556.8030 or [chicks@triagoventures.com](mailto:chicks@triagoventures.com).

Sincerely,

Triview Apartment Associates I, LLC

By: Triago Ventures, Inc., its manager

By:

Name: JAY M. DICKINSON

Title: President of its Managing Member  
Triago Ventures, Inc.

Enclosures (1)



September 21, 2018

Think Architecture  
Attn: Tim Soffe  
5151 S 900 E, Ste 200  
Salt Lake City, UT 84117

***RE: Notice of Approval for the TriView 1 Site Plan Request***

Dear Mr. Soffe,

On September 13, 2018, the Draper City Planning Commission approved your request for a Site Plan for TriView 1 (formally known as The Point at Lone Peak Phase 1, Lone Peak Mixed Use Phase 1, and Smith-Miller Development Agreement) on the property at approximately 12620 S Pony Express Rd, application 150710-12620SPony ExpressRd-1, with the following conditions:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. Modify the elevations, site plan, lighting, and landscape plan to soften the building elevations. Due to the garage structure grade plane, windows cannot be provided creating blank walls and eliminating chances for natural surveillance. The building exterior shall be softened by landscaping, utility screen walls, and bollard lighting, etc.
4. Adjust building materials to comply with DCMC Section 9-22-040(F).
5. Adjust the lighting plan to comply with DCMC Section 9-20-070(B).
6. Adjust the south parking lot so that it complies with the Development Agreement minimum setback standards.
7. Provide the executed Stormwater Maintenance Agreement, per DCMC 16-2-170, for the private site storm drainage system. It is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site.
8. Provide Salt Lake County Flood Control Permit.
9. Provide updated Drainage Report with redlines addressed.
10. Show FEMA Flood Plain on site plan.
11. Complete construction drawings, addressing all redlines, comments, and conditions of approval are required prior to final approval, per DCMC 17-4-040.
12. Comply with the performance based fire protection system through the building permit review and building construction.

Please be aware that the approval of a Site Plan by Draper City in no way exempts the property



from complying with other requirements that may be in effect on the property such as CC&R's, zoning, subdivision, site plan, land disturbance, and building permit regulations, as applicable. It is the responsibility of the property owner to ensure compliance with these regulations.

Section 9-5-090(J) of the Draper City Municipal Code specifies that the approval of an Site Plan expires one year from the date of approval. As such, the approval granted for the subject request will be rendered null and void on September 13, 2019 if no building permit has been issued for the project. The expiration of the approval can also be avoided through an extension of the approval. A maximum of one extension for a period of up to six months can be requested in writing prior to the date of expiration from the Community Development Department.

As the applicant, this letter is intended as a courtesy to document the status of your request. If you have further questions, please contact me at [jennifer.jastremsky@draper.ut.us](mailto:jennifer.jastremsky@draper.ut.us) or 801-576-6328.

Respectfully,

Jennifer Jastremsky, AICP  
Senior Planner/ Zoning Administrator  
Community Development Department

Cc Karen Burnett, GIS Manager  
Ellen Xanthos, Planning Coordinator  
Emily Dickinson, Building Inspection Coordinator  
Vonnie McLaughlan, Executive Administrative Assistant, Engineering Department  
File



## **Development Review Committee**

1020 East Pioneer Road

Draper, UT 84020

August 31, 2018

**To:** Draper City Planning Commission  
Business Date: September 13, 2018

**From:** Development Review Committee

**Prepared By:** Jennifer Jastremsky, AICP, Senior Planner  
Planning Division  
Community Development Department

**Re: TriView 1 (formally known as The Point at Lone Peak Phase 1, Lone Peak Mixed Use Phase 1, and Smith-Miller Development Agreement)– Site Plan Request**

Application No.: 150710-12620SPony ExpressRd-1  
Applicant: Tim Soffe, representing Think Architecture  
Project Location: Approximately 12620 S Pony Express Rd  
Zoning: CR (Regional Commercial) Zone  
Acreage: Approximately 6.87 Acres (Approximately 299,257 ft<sup>2</sup>)  
Request: Request for approval of a Site Plan in the CR (Regional Commercial) zone regarding a mixed use building.

### **SUMMARY**

This application is a request for approval of a Site Plan for approximately 6.87 acres located on the west side of I-15, at approximately 12620 South Pony Express Rd. The property is currently zoned CR (Regional Commercial). The applicant is requesting that a Site Plan be approved to allow for the development of the currently vacant site as a mixed use building, the first structure in a larger mixed use center.

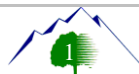
### **BACKGROUND AND SUMMARY**

A development agreement was approved by the City Council on May 5, 2015 allowing for a mixed use development on the subject property, and the property directly north of the subject site. This mixed use development will encompass 15.15 acres total and when complete will include 835 dwelling units and 75,000 square feet of commercial space. The subject application is phase one of the three phase development.

### **ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the Community Commercial land use designation for the subject property. This category “permits the full scope of commercial land uses that are destination-oriented.”

The property has been assigned the CR (Regional Commercial) zoning classification. The purpose of the



CR zone is to “provide areas where a combination of destination oriented businesses, retail commercial, entertainment, and related uses may be established, maintained and protected to serve both residents and nonresidents of the city. Typical uses in this zone include large scale, master planned commercial centers with outlying commercial pads, big box stores, offices, and various types of high density residential uses.”

The CC (Community Commercial), CR, CG (General Commercial), and CI (Interchange Commercial) zoning designations are identified by the General Plan as a preferred zoning classification for the Community Commercial land use designation. The CR zone abuts the property on the north, south, east, and west. In addition, the property also has the A5 (Agricultural) zone to the west, and the CG zone to the east.

Site Plan Layout. The development includes one building surrounding three enclosed courtyards. The building will house a two level parking garage at the base, 22,050 square feet of commercial space on the ground floor, and 434 apartments above the garage and commercial space. Additional parking will be provided via surface stalls around the building. There will be three ingress and egress points, one to Pony Express Road and two to 12650 South. A fourth connection will stub north, where it will connect with the future phase 2. As part of phase 2, a connection will be made to Lone Peak Parkway. Pedestrian walkways are provide as allowed in the development agreement. The development agreement waives the requirement for sidewalks on both sides of the street. The applicant has provided a walkway around the entire building, connecting to the public sidewalk on Pony Express Rd and 12650 South in three locations.

The development agreement sets the parking and building setbacks. The parking lot has to be at least 20-feet from the south property line, while the building has to be at least 80-feet from the south property line. The building setback from the east property line is required to be at least 20-feet. The western setback is 2.5-feet for parking and 60-feet for the building. The current site plan appears to have shifted the parking lot slightly on the south of the site, and a condition of approval has been included requiring the parking lot to be moved back to those minimum setback points. The rest of the plans did not shift, and there is room on the site to correct the error.

Landscaping and Lot Coverage. The site plan under review contains 93,187 square feet of landscaping, equaling 31% of the overall property acreage, in conformance with the code. Overall site coverage is 33%, meaning the building covers 33% of the property. The majority of the publicly visible landscaping is parking lot landscaping and those planting areas around the building. There are three interior courtyards that provide for the amenity space for residents. There will be a large western courtyard equaling 35,173 square feet. This space will have a playground, plaza, stream, walkway, lawn areas, and a seating deck. The northeast courtyard will be 14,844 square feet and have a swimming pool, spa, fire pit and outdoor kitchen, along with seating areas. The southeast courtyard will be 11,524 square feet in size and contain a pickle ball court, playground and open lawn areas. In addition, the building will have a club room, kids room, media, and exercise rooms. In total, the plan will provide for 206 trees throughout the property, including along both rights-of-way and the canal to the west of the property.

Parking. A parking study was done as part of the development agreement, which called for 1.7 parking spaces per dwelling unit. The applicant has complied with this standard and has provided 742 parking stall, or 1.7 stalls per dwelling unit. The structured garage can accommodate 484 vehicles, while the surface parking lot has capacity for an additional 258 vehicles. The parking garage will be accessed from two entrance ramps on Pony Express Rd. These entrance ramps will also provide space, and screening, for the dumpster enclosures, wherein the enclosures are on the ramps but to the side of the garage entrance. The development agreement requires a landscaping island at least every 20 parking spaces. The applicant has complied with this requirement.



Architecture. The CR zone limits building height to 45-feet, however, the development agreement allows a total building height of 70-feet. The building is designed to 68-feet at the roof line, and 70-feet at the parapet wall. The development agreement also approved several changes to architectural standards. Façade variations will not be required, per the development agreement, as outlined in the zoning code. The applicant has provided variations with balconies, decks, wall projections, windows, and material changes. The roofline does not have to meet variation standards, but does have a variety of parapet wall heights. The building will not contain framed windows, and will not front onto open space, but rather have the open space on the interior, per the allowances in the development agreement.

The building will have to meet material standards found in the zoning code. The proposed contemporary structure will have brick, stucco, and metal panel materials. The stucco material may not exceed 25% of each façade face. The current building design is slightly over that amount. A condition of approval has been provided requiring the elevations to be modified to comply with code.

The parking garage structure is stepped in nature, the first floor is half underground, making the ground floor half of each garage level. This configuration has made it difficult to treat the building façade at the pedestrian walkway. Due to structural elements, windows can only be provided on the second level of the garage, which will place them 5-feet 6-inches above the pedestrian sidewalk. The applicant has provided variations in building materials to help break up the wall plane. Staff does have some concerns about safety, due to the lack of fenestration. In discussing this concern with the applicant, and taking into account the structural limitations of the parking garage, the applicant will be modifying the landscaping and lighting plans to provide for landscaping and screening along the building line to soften the look of the building, and will be providing lighting bollards along the walkway to ensure proper visibility. A condition of approval has been included requiring changes be made to make this area of the site more pedestrian friendly and safe.

Lighting. The current lighting plan includes 18-foot tall light poles in the parking lot and mounted lighting on the building. In order to add the bollard lighting along the pedestrian walkways, the applicant will need to adjust the lighting plan in order to conform to the allowed foot candle levels. This will include utilizing other light sources or amending the pole heights to ensure allowed foot candle levels are not exceeded. A condition of approval has been included requiring compliance with the lighting code.

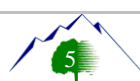
Fencing. Fencing will be utilized as screening for some utility areas, while others will be screened with landscaping. Fencing will also be included in the courtyards around the pickle ball court and pool areas.

Criteria For Approval. The criteria for review and potential approval of a Site Plan request is found in Sections 9-5-090(e) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- (e) Standards for Approval. The following standards shall apply to the approval of a site plan.
  - (1) The entire site shall be developed at one time unless a phased development plan is approved.
  - (2) A site plan shall conform to applicable standards set forth in this Title. In addition, consideration shall be given to the following:
    - (i) Considerations relating to traffic safety and traffic congestion:

- (A) effect of the site development plan on traffic conditions on abutting streets and neighboring land uses, both as existing and as planned;
  - (B) layout of the site with respect to location and dimensions of vehicular and pedestrian entrances, exits, driveways, and walkways;
  - (C) arrangement and adequacy of off-street parking facilities to prevent traffic congestion and compliance with the provisions of City ordinances regarding the same;
  - (D) location, arrangement, and dimensions of truck loading and unloading facilities;
  - (E) vehicular and pedestrian circulation patterns within the boundaries of the development;
  - (F) surfacing and lighting of off-street parking facilities; and
  - (G) provision for transportation modes other than personal motor vehicles, including such alternative modes as pedestrian, bicycle, and mass transit.
- (ii) Considerations relating to outdoor advertising:
- (A) compliance with the provisions of Chapter 9-26 of this Title. Sign permit applications shall be reviewed and permits issued as a separate process. Action may be taken simultaneously with or following site plan review.
- (iii) Considerations relating to landscaping:
- (A) location, height, and materials of walls, fences, hedges, and screen plantings to provide for harmony with adjacent development, or to conceal storage areas, utility installations, or other unsightly development;
  - (B) planting of ground cover or other surfaces to prevent dust and erosion;
  - (C) unnecessary destruction of existing healthy trees; and
  - (D) compliance with the Draper City General Plan guidelines to promote consistent forms of development within the districts of the City as identified in the General Plan.
- (iv) Considerations relating to buildings and site layout:
- (A) the general silhouette and mass, including location on the site and elevations, in relationship to the character of the district or neighborhood and the applicable provisions of the General Plan; and
  - (B) exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on the street, line and pitch of roofs, the arrangement of structures on the parcel, and appropriate use of materials and colors to promote the objectives of the General Plan relating to the character of the district or neighborhood.

- (v) Considerations relating to drainage and irrigation:
  - (A) the effect of the site development plan on the adequacy of the storm and surface water drainage; and
  - (B) the need for piping of irrigation ditches bordering or within the site.
- (vi) Other considerations including, but not limited to:
  - (A) buffering;
  - (B) lighting;
  - (C) placement of trash containers and disposal facilities; and
  - (D) location of surface, wall and roof-mounted equipment.
- (3) In order to assure that the development will be constructed to completion in an acceptable manner, the applicant shall enter into an agreement and provide a satisfactory letter of credit or escrow deposit. The agreement and letter of credit or escrow deposit shall assure timely construction and installation of improvements required by a site plan approval.
- (4) In a planned center, individual uses shall be subject to the following requirements:
  - (i) The overall planned center shall have been approved as a conditional use which shall include an overall site plan, development guidelines and a list of allowable uses in the center.
  - (ii) The City and the developer of the planned center shall enter into a development agreement governing development of the center. The agreement shall include a provision to the effect that staff review and approval of uses and the site plan is typically sufficient.
  - (iii) Development guidelines for a center shall, as a minimum, address the following topics:
    - (A) general site engineering (e.g., storm drainage, provision of utilities, erosion control, etc.);
    - (B) architectural guidelines, including building setbacks, height, massing and scale, site coverage by buildings, materials, and colors;
    - (C) landscaping and open space standards;
    - (D) signage;
    - (E) exterior lighting;
    - (F) parking, pedestrian and vehicular circulation, and access to the site;
    - (G) rights of access within the center (use of cross-easements, etc.);
    - (H) development phasing and improvements/amenities to be completed with each phase;
    - (I) outdoor sales, storage and equipment;
    - (J) fencing and walls; and
    - (K) maintenance standards and responsibilities.
- (5) Building permits for individual uses with an approved planned center shall be reviewed by the Zoning Administrator for compliance of the proposed use to the





overall site plan, development guidelines and approved use list for the planned center. The Zoning Administrator shall approve, approve with conditions, or deny the permit based on compliance with applicable conditions of the site plan and provisions of this Title.

## **REVIEWS**

*Planning Division Review.* The Draper City Planning Division has completed their review of the Site Plan submission and has issued a recommendation for approval. Comments from this division, if any, can be found in Exhibit D.

*Engineering and Public Works Divisions Review.* The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan submission and have issued a recommendation for approval. Comments from this division, if any, can be found in Exhibit D.

*Building Division Review.* The Draper City Building Division has completed their review of the Site Plan submission and has issued a recommendation for approval. Comments from this division, if any, can be found in Exhibit D.

*Geotechnical and Geologic Hazards Review.* Taylor Geo-Engineering, LLC, in working with the Draper City Building and Engineering Divisions, has completed his review of the geotechnical a report submitted as a part of the Site Plan submission and has issued a recommendation for approval. Comments from this division, if any, can be found in Exhibit D.

*Fire Division Review.* The Draper City Fire Marshal has completed his review of the Site Plan submission and has issued a recommendation for approval. Comments from this division, if any, can be found in Exhibit D.

*Parks & Trails Committee Review.* The Draper City Parks and Trails Committee has completed their review of the Site Plan submission and has issued a recommendation for approval. Comments from this division, if any, can be found in Exhibit D.

*Noticing.* Notice has been properly issued in the manner outlined in the City and State Codes.

## **STAFF RECOMMENDATION**

Staff recommends approval of the request for a Site Plan by Tim Soffe, representing the Think Architecture, application 150710-12620SPony ExpressRd-1, subject to the following conditions:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. Modify the elevations, site plan, lighting, and landscape plan to soften the building elevations. Due to the garage structure grade plane, windows cannot be provided creating blank walls and eliminating chances for natural surveillance. The building exterior shall be softened by landscaping, utility screen walls, and bollard lighting, etc.
4. Adjust building materials to comply with DCMC Section 9-22-040(F).

5. Adjust the lighting plan to comply with DCMC Section 9-20-070(B).
6. Adjust the south parking lot so that it complies with the Development Agreement minimum setback standards.
7. Provide the executed Stormwater Maintenance Agreement, per DCMC 16-2-170, for the private site storm drainage system. It is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site.
8. Provide Salt Lake County Flood Control Permit.
9. Provide updated Drainage Report with redlines addressed.
10. Show FEMA Flood Plain on site plan.
11. Complete construction drawings, addressing all redlines, comments, and conditions of approval are required prior to final approval, per DCMC 17-4-040.
12. Comply with the performance based fire protection system through the building permit review and building construction.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
  - a. Create a balanced community where residents can live, work and play, and have their essential needs met.
  - b. Allow development only in those districts where community services are now available or where they can be extended without increased cost to existing residents.
  - c. Provide a wide range of housing opportunities while protecting property values and promoting quality development.
  - d. Incorporate a diverse range of residential and non-residential uses within mixed-use neighborhoods.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.

## **MODEL MOTIONS**

Sample Motion for Approval – I move that we approve the Site Plan request by Tim Soffe, representing Think Architecture for the TriView 1 Site Plan, application 150710-12620SPony ExpressRd-1, based on the findings and subject to the conditions listed in the Staff Report dated August 31, 2018.

Sample Motion for Approval with Modifications – I move that we approve the Site Plan request by Tim Soffe, representing Think Architecture for the TriView 1 Site Plan, application 150710-12620SPony ExpressRd-1, based on the findings and subject to the conditions listed in the Staff Report dated August 31, 2018 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the Site Plan request by Tim Soffe, representing Think Architecture for the TriView 1 Site Plan, application 150710-12620SPony ExpressRd-1, based on the following findings:

1. List any findings...


## DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

  
\_\_\_\_\_  
Draper City Public Works Department

  
\_\_\_\_\_  
Draper City Planning Division

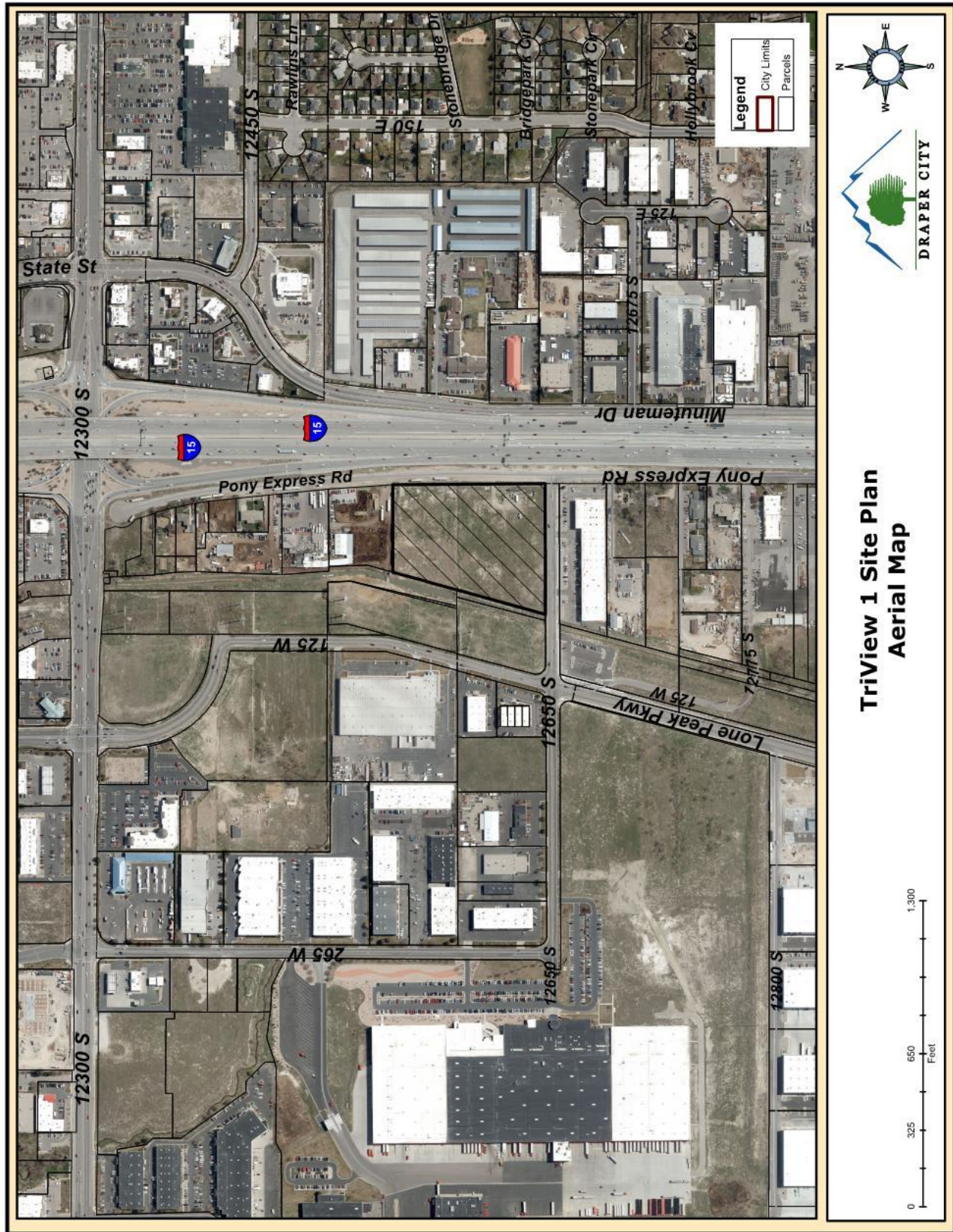
  
\_\_\_\_\_  
Draper City Fire Department

  
\_\_\_\_\_  
Draper City Legal Counsel

  
\_\_\_\_\_  
Draper City Building Division



## EXHIBIT A AERIAL MAP



**TriView 1 Site Plan  
Land Use Map**

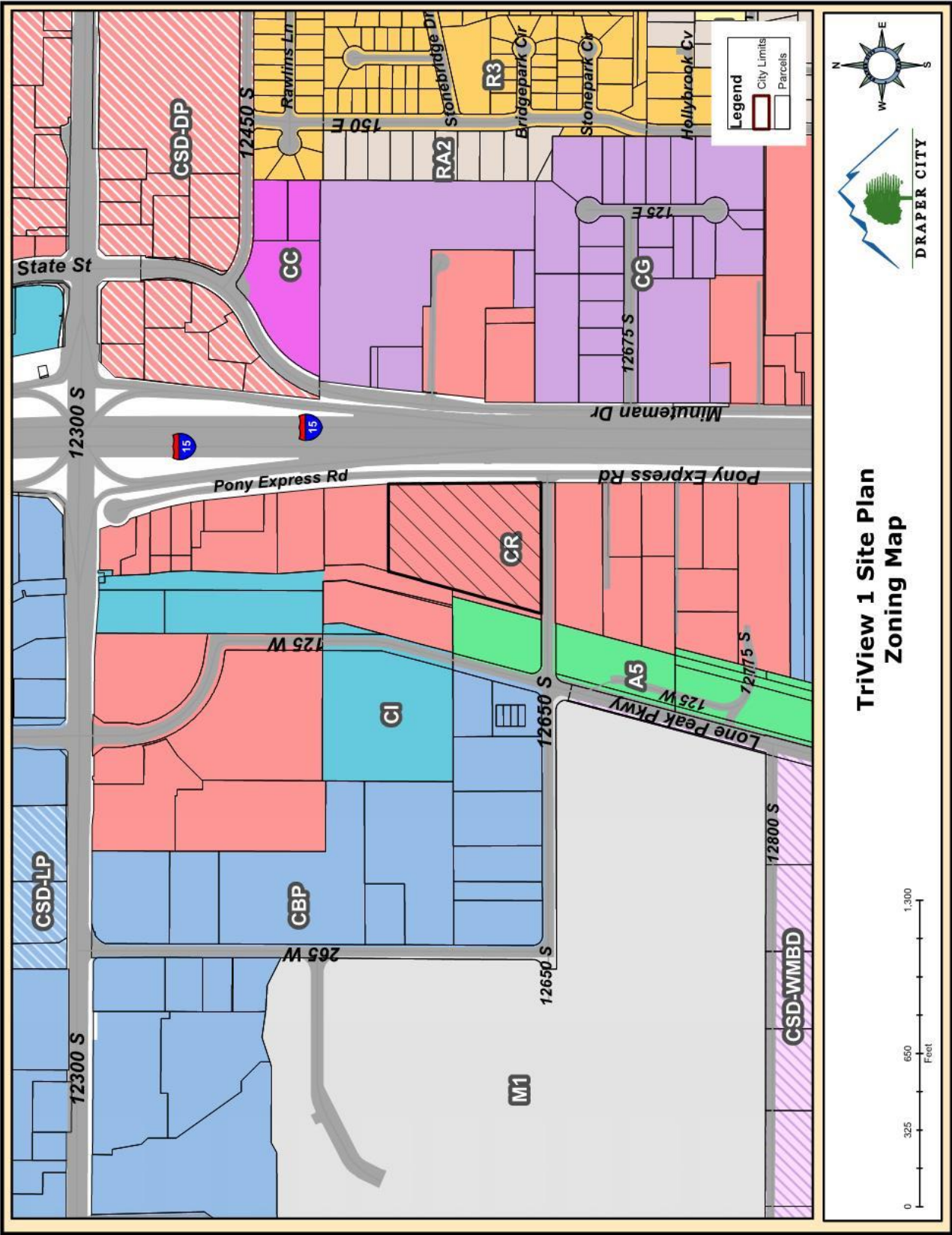
The map displays the following features:

- Legend:** City Limits (red outline), Parcels (black outline).
- Zones:** Community Commercial (red), Industrial/Manufacturing (grey), Open Space/Parks (yellow), Cultural/Institutional (blue).
- Roads:** Pony Express Rd, Lone Peak Pkwy, State St, Minuteman Dr, 12300 S, 12650 S, 12800 S, 12900 S, 1275 W, 1265 W, 125 W.
- Scale:** 0 to 1,300 Feet.
- Orientation:** North Arrow pointing up.

## TriView 1 Site Plan Land Use Map



EXHIBIT C  
ZONING MAP





## **EXHIBIT D DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

### *Planning Division Review.*

1. Modify the elevations, site plan, lighting, and landscape plan to soften the building elevations. Due to the garage structure grade plane, windows cannot be provided creating blank walls and eliminating chances for natural surveillance. The building exterior shall be softened by landscaping, utility screen walls, and bollard lighting, etc.
2. Adjust building materials to comply with DCMC Section 9-22-040(F).
3. Adjust the lighting plan to comply with DCMC Section 9-20-070(B).
4. Adjust the south parking lot so that it complies with the Development Agreement minimum setback standards.

### *Engineering and Public Works Divisions Review.*

1. Address redlines.
2. Stub sidewalk to continue into Phase 2.
3. Drainage report summary and plans indicate a 3.5" orifice, link summary calculations show a 4.5" orifice. Please reconcile.
4. Provide calculation for 23,671 ft<sup>3</sup> required storage. Verify correct capacity, after addressing calculation redlines.
5. Complete construction drawings, addressing all redlines and comments, are required prior to final approval, per DCMC 17-4-040.
6. Update plan notes as indicated.

### *Geotechnical and Geologic Hazards Review.*

1. The geotechnical report is for the construction of two multi-family residential buildings that will be up to five stories in height. Basement construction is not anticipated. Structural loads for the building are anticipated to consist of column loads up to 400 kips and wall loads up to 8 kips per linear foot.
2. All organics, topsoil, existing fill and other deleterious material should be removed from below proposed building and pavement areas.
3. Footings for the structures may be supported on undisturbed native soils or on compacted structural fill extended to native soils.
4. Footings may be designed using a maximum allowable bearing pressure of 3,000 psf. However, due to various load conditions, the following apply:
5. Spot footings with loads up to 100 kips and strip footings with loads up to 6 kip/foot may be supported on native soils. Spot footing with loads between 100 kips and 150 kips and strip footings with loads between 6 kip/foot and 8 kip/foot should be underlain by 12 inches of structural fill. Spot footing with loads between 150 kips and 200 kips should be underlain by 18 inches of structural fill. Spot footing with loads between 200 kips and 300 kips should be underlain by 24 inches of structural fill. Spot footing with loads between 300 kips and 400 kips should be underlain by 36 inches of structural fill.
6. Strip footings should have a minimum width of 18 inches and spot footings should have a

- minimum width of 24 inches.
7. Footings susceptible to frost should be located a minimum depth of 30 inches. Footings not susceptible to frost should have a minimum embedment of 15 inches.
  8. The following design seismic spectral response accelerations should be used for seismic analysis for proposed structures at the site: 0.2 sec (short period)  $SDS = 0.979g$ ; and, 1.0 sec (long period)  $SD1 = 0.525g$ . The design values were factored based on a Site Class = D.
  9. A site specific liquefaction analysis was completed for this study. The results of the study indicate the site is susceptible to liquefaction induced settlement but not lateral spread. Potential liquefaction induced settlement is estimated to be up to 1.6 inches.
  10. No cement type was recommended for concrete placed in contact with natural soil.
  11. Prior to the placement of concrete, a letter from the geotechnical engineer should be obtained that indicates subgrade for footing and floor slab support was prepared in accordance with the geotechnical report and ready for the placement of concrete.
  12. Floor slabs are to be underlain by at least 4-inches of free draining gravel. A vapor barrier below the floor slab is recommended for floor areas that will receive an impermeable floor covering.
  13. Gutters should discharge beyond the limits of backfill.
  14. Surface drainage should slope away from the structure in all directions with a 5 percent grade for the first 10 feet.
  15. All import materials should be approved by Geotechnical Engineer.
  16. All compaction for interior and exterior backfill adjacent to the building should be verified by the geotechnical engineer.

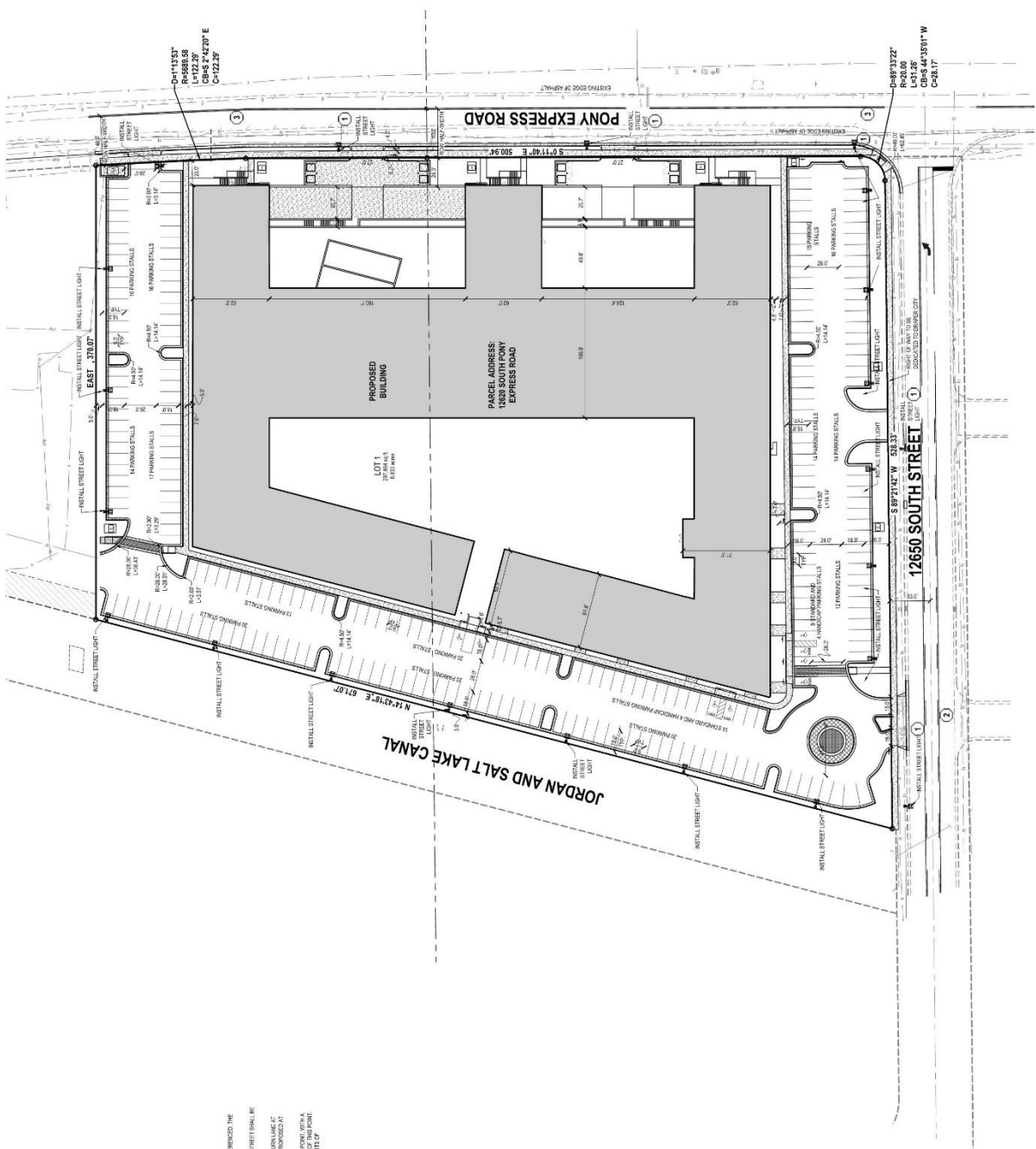
Fire Division Review.


1. Fire department access is required. An unobstructed minimum road width of twenty-six (26) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty – eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
2. Fire hydrants are required there shall be a total of 8 hydrants required spaced at 300ft. Increments, 40 feet minimum distance out from the building. Hydrants are to be protected with bollards if susceptible to vehicle damage. The required fire flow for this project is 8000gpm for full 4 hour duration.
3. Hydrants and site access. All hydrants and a form of acceptable temporary fire department access to the site shall be installed and approved by the fire department prior to the issuance of any building permits. If at any time during the building phase any of the hydrants or temporary fire department access becomes non-compliant any and all permits could be revoked.
4. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
5. Fire sprinklers required. A deferred submittal for a nfpa 13 fire sprinkler shop drawings are to be sent via email to: don buckley at don.buckley@draper.ut.us. A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a nicet level iii or better in auto sprinkler layout. (there needs to be a hydrant with-in a 100 feet of the fd.) Fdc is required to have knox locking caps. All fire protection plans require 3rd party review prior to be submitted to the draper fire department.
6. Standpipes required. This building may be required to have standpipes. This standpipe

will be required to be pressure tested and a contractor certificate of completion will be required to be filled out.

7. Post indicator valve with tamper required. If there is no designated fire riser room with a direct access door from the outside. There shall be either a wall mounted p.i.v (os&y) or a typical p.i.v placed a minimum distance of 40 feet from the building with a tamper switch.
8. Fire alarm required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: don buckley at don.buckley@draper.ut.us . A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a nicet level iii or better in fire alarm systems. All fire alarm plans require 3rd party review prior to be submitted to the draper fire department.
9. Fire department command center required. A fire command center complying with the ifc shall be provided in a location approved by the fire department.
10. Emergency responder radio coverage required. Emergency responder radio coverage shall be provided in accordance with the ifc.
11. Emergency voice/alarm communication system required. An emergency voice/alarm communication system shall be provided in accordance with the ifc.
12. Two-way communication will be required. As per section 1009.8 in the 2015 ifc.
13. Knox boxes required. Fire department “knox brand” lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. (at a height of 5 feet to the top of the box) lock box purchase can be arranged by the general contractor. See attached information form.
14. 2a-10bc fire extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.
15. Visible addressing required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
16. The previous conversations on a performance based fire protection system is acceptable as listed but may not be limited to the following,
  - A. A full 13 fire sprinkler system,
  - B. Enhanced fire wall ratings between units with 2 hr ratings between units made Of shaft wall liner.
  - C. Fire control center from the main south lobby for fire command/control, and
  - D. Fdc (standpipes) at the top of roof access stairs for fighting a fire from above where the fire truck would not be moved into the west landscaped core area.As for moving forward at this time the draper fire department feels comfortable and will continue to work with the applicant as we move forward.

EXHIBIT E  
SITE PLAN





CALL BEFORE YOU DIG  
811 IS EASY  
CONNECTION TO ANY  
UTILITY  
Call before you dig.

**BENCHMARK**

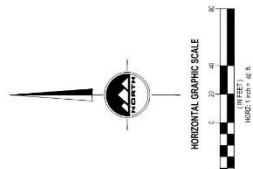
WHEEL CORNER POINT CONSIDERED  
TO BE THE CORNER POINT OF THE  
SECTION. THE BENCHMARK IS  
LOCATED AT THE CORNER OF  
SECTION 4 - 4423.24.

**SCOPE OF WORK:** CONSIDERING THE FOLLOWING THE APPROPRIATE DESIGN OR REFINEMENTS THE  
DETAILS NOTED AND/OR AS SHOWN, THE CONSTRUCTION DRAWINGS:

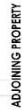
1. EXISTING LOT IN THE PUBLIC RIGHT OF WAY FOR THE EXISTING ROAD AND 12650 SOUTH STREET SHALL BE  
REMOVED AND THE LOT SHALL BE REDEVELOPED AS A LOT 1.
2. THE PROPOSED BUILDING SHALL BE CONSTRUCTED ON THE LOT 1.
3. THE PROPOSED BUILDING SHALL BE CONSTRUCTED ON THE LOT 1.
4. THE PROPOSED BUILDING SHALL BE CONSTRUCTED ON THE LOT 1.
5. THE PROPOSED BUILDING SHALL BE CONSTRUCTED ON THE LOT 1.

SITE SUMMARY TABLE		
DESCRIPTION	AREA	PERCENTAGE
LANDSCAPE	200.00	2.25%
LANDSCAPE	200.00	2.25%
TOTAL SITE	200.00	2.25%
CONSTRUCTION OF PHASE		
22.00% 1.4, 1.5, 1.6		

PARKING DATA TABLE	
EXTERIOR STANDARD STALLS	200
EXTERIOR HANDICAPPED ACCESSIBLE STALLS	4
EXTERIOR UNACCESSIBLE STALLS	4
TOTAL EXTERIOR STALLS	208
INTERIOR STANDARD STALLS	405
INTERIOR HANDICAPPED ACCESSIBLE STALLS	7
INTERIOR UNACCESSIBLE STALLS	2
TOTAL INTERIOR STALLS	414
TOTAL EXTERIOR AND INTERIOR STALLS	622



NAME \_\_\_\_\_

[illegible]

Plant	Key	Botanical Name	Common Name	Size	Comments
1	MA	Shrub	Shrub	5' tall	
2	MA	Shrub	Shrub	5' tall	
3	MA	Shrub	Shrub	5' tall	
4	MA	Shrub	Shrub	5' tall	
5	MA	Shrub	Shrub	5' tall	
6	MA	Shrub	Shrub	5' tall	
7	MA	Shrub	Shrub	5' tall	
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89	MA	Shrub	Shrub	5' tall	
90	MA	Shrub	Shrub	5' tall	

LANDSCAPE - PLANNING SCHEDULE				
General Code	Estimate Name	Common Name	Size	Comments
1	ACR	Acid grasses Thyme		
2	CS	Colony succulents	20' Dia	Small Thyme
3	CC	Creeping carnations	2' Col	
4	CC	Creeping carnations	2' Col	
5	CC	Creeping carnations	2' Col	
6	PM	PM	20' Dia	
7	PM	PM	20' Dia	
8	PM	PM	20' Dia	
9	PM	PM	20' Dia	
10	PM	PM	20' Dia	
11	PM	PM	20' Dia	
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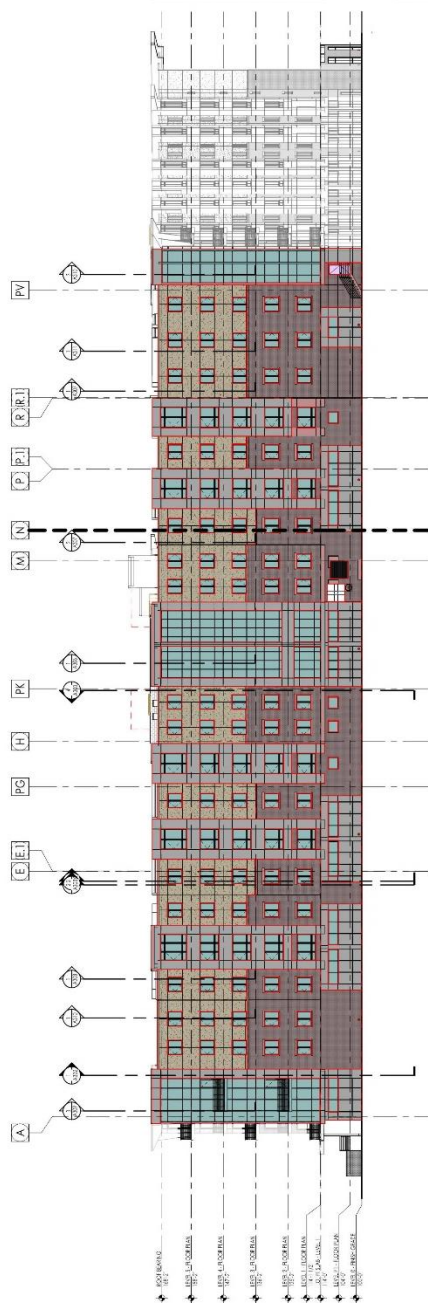
ELEVATION / SECTION MATERIAL LEGEND	
SECTION	<p>1. FINISH: EXPOSED STEEL</p> <p>2. FINISH: CONCRETE</p> <p>3. FINISH: METAL CLADDING</p> <p>4. FINISH: GLASS</p> <p>5. FINISH: BRICK</p> <p>6. FINISH: STONE</p> <p>7. FINISH: TERRAZZO</p> <p>8. FINISH: CARPET</p> <p>9. FINISH: PAINT</p> <p>10. FINISH: POLISHED CONCRETE</p> <p>11. FINISH: GROUT</p> <p>12. FINISH: INSULATION</p> <p>13. FINISH: ROOFING</p> <p>14. FINISH: FLOORING</p> <p>15. FINISH: WALLPAPER</p> <p>16. FINISH: MURAL</p> <p>17. FINISH: SCULPTURE</p> <p>18. FINISH: LIGHTING</p> <p>19. FINISH: FURNITURE</p> <p>20. FINISH: PLANTING</p> <p>21. FINISH: LANDSCAPE</p> <p>22. FINISH: SITEWORK</p> <p>23. FINISH: UTILITY</p> <p>24. FINISH: MECHANICAL</p> <p>25. FINISH: ELECTRICAL</p> <p>26. FINISH: PIPING</p> <p>27. FINISH: STRUCTURAL</p> <p>28. FINISH: FOUNDATION</p> <p>29. FINISH: RETENTION</p> <p>30. FINISH: EROSION CONTROL</p> <p>31. FINISH: WATER MANAGEMENT</p> <p>32. FINISH: AIR MANAGEMENT</p> <p>33. FINISH: SOUND MANAGEMENT</p> <p>34. FINISH: VIBRATION MANAGEMENT</p> <p>35. FINISH: CLIMATE CONTROL</p> <p>36. FINISH: ENERGY MANAGEMENT</p> <p>37. FINISH: SUSTAINABILITY</p> <p>38. FINISH: WELLNESS</p> <p>39. FINISH: BIODESIGN</p> <p>40. FINISH: ADAPTIVE DESIGN</p> <p>41. FINISH: RESILIENT DESIGN</p> <p>42. FINISH: CIRCULAR DESIGN</p> <p>43. FINISH: LOW CARBON DESIGN</p> <p>44. FINISH: CLIMATE RESILIENT DESIGN</p> <p>45. FINISH: GREEN DESIGN</p> <p>46. FINISH: BLUE DESIGN</p> <p>47. FINISH: BROWN DESIGN</p> <p>48. FINISH: GRAY DESIGN</p> <p>49. FINISH: BLACK DESIGN</p> <p>50. FINISH: WHITE DESIGN</p> <p>51. FINISH: COLOR DESIGN</p> <p>52. FINISH: TEXTURE DESIGN</p> <p>53. FINISH: FORM DESIGN</p> <p>54. FINISH: FUNCTION DESIGN</p> <p>55. FINISH: BEAUTY DESIGN</p> <p>56. FINISH: COMFORT DESIGN</p> <p>57. FINISH: CONVENIENCE DESIGN</p> <p>58. FINISH: EFFICIENCY DESIGN</p> <p>59. FINISH: EFFECTIVENESS DESIGN</p> <p>60. FINISH: IMPACT DESIGN</p> <p>61. FINISH: INFLUENCE DESIGN</p> <p>62. FINISH: LEGACY DESIGN</p> <p>63. FINISH: LIFESTYLE DESIGN</p> <p>64. FINISH: MOVEMENT DESIGN</p> <p>65. FINISH: NETWORK DESIGN</p> <p>66. FINISH: ORGANIZATION DESIGN</p> <p>67. FINISH: PROCESS DESIGN</p> <p>68. FINISH: PRODUCT DESIGN</p> <p>69. FINISH: PROJECT DESIGN</p> <p>70. FINISH: PROGRAM DESIGN</p> <p>71. FINISH: PRESENTATION DESIGN</p> <p>72. FINISH: PROPOSAL DESIGN</p> <p>73. FINISH: PROMOTION DESIGN</p> <p>74. FINISH: PROTECTION DESIGN</p> <p>75. FINISH: PROVISION DESIGN</p> <p>76. FINISH: PROXY DESIGN</p> <p>77. FINISH: PUNCTURE DESIGN</p> <p>78. FINISH: PUNCTURE DESIGN</p> <p>79. FINISH: PUNCTURE DESIGN</p> <p>80. FINISH: PUNCTURE DESIGN</p> <p>81. FINISH: PUNCTURE DESIGN</p> <p>82. FINISH: PUNCTURE DESIGN</p> <p>83. FINISH: PUNCTURE DESIGN</p> <p>84. FINISH: PUNCTURE DESIGN</p> <p>85. FINISH: PUNCTURE DESIGN</p> <p>86. FINISH: PUNCTURE DESIGN</p> <p>87. FINISH: PUNCTURE DESIGN</p> <p>88. FINISH: PUNCTURE DESIGN</p> <p>89. FINISH: PUNCTURE DESIGN</p> <p>90. FINISH: PUNCTURE DESIGN</p> <p>91. FINISH: PUNCTURE DESIGN</p> <p>92. FINISH: PUNCTURE DESIGN</p> <p>93. FINISH: PUNCTURE DESIGN</p> <p>94. FINISH: PUNCTURE DESIGN</p> <p>95. FINISH: PUNCTURE DESIGN</p> <p>96. FINISH: PUNCTURE DESIGN</p> <p>97. FINISH: PUNCTURE DESIGN</p> <p>98. FINISH: PUNCTURE DESIGN</p> <p>99. FINISH: PUNCTURE DESIGN</p> <p>100. FINISH: PUNCTURE DESIGN</p>
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FINISHES BREAKDOWN - N.E. PLAZA ELEV. (3 SIDES)		TOTAL	
SUBMITTAL	FINISH/APPLY TO F.E.	QTY	CU YD
CLADDING	111F	31.3	
BRICK VENEER	314C	22.2	
CONCRETE FINISH SYSTEM	435B	32.4	
CONCRETE AND PAINT	222I	28.8	
WOOD	0	0.0	
	TOTALS	112.67	112.67

FINISHES BREAKDOWN - S.E. PLAZA ELEV3 (3 LIDES)		SURFACE AREA SQ.FT.		COST PER SQ.FT.	
CEILING		7,218		\$14	
BRICK VENEER		453		\$42	
CONCRETE TERRAZZO FORM		5,477		\$23	
CONCRETE VENEER		43		\$4	
PAINT FINISHES		0		\$0	
WOODS		402		17	
TOTAL		12,991			\$28

FINISHES BREAKDOWN - NORTH ELEVATION		
DESCRIPTION	% FINISH AREA (SQ. FT.)	SQ. FT. TOTAL
G. PAINT	4.18%	21.9
BRICK VENEER	5.62%	29.0
5/8" X 1 1/2" X 20" STUCCO	4.14%	19.8
3/4" X 1 1/2" X 20" STUCCO	3.18%	16.4
DOORS	24	60
TOTALS	20.7%	107.2

FINISHED BREAKDOWN - EAST ELEV. (WING BIDS)		EST. TOTAL
WING#	EST. AMOUNT	EST. TOTAL
C-212C	6,000	312
BIDS 19888	6,666	324
2% FUEL TO C-212C	2,880	137
24000-19827 FUEL	2,417	131
C-2035	71	60
	129,645	100.0





# EXHIBIT G ELEVATIONS

[illegible]

FINISHES BREAKDOWN - SOUTH ELEVATION			3.1.7.001
DESCRIPTION	QUANTITY	UNIT PRICE (\$/M <sup>2</sup> )	TOTAL (\$)
PAINT FINISH	12.5	2.15	26.88
WOOD FINISH	12.5	2.15	26.88
GLASS FINISH	12.5	2.15	26.88
STONE FINISH	12.5	2.15	26.88
METAL FINISH	12.5	2.15	26.88
OTHER FINISH	12.5	2.15	26.88
TOTAL	75.0		161.25

FINISHES BREAKDOWN - WEST VERNON		
MATERIAL	FINISHES BREAKDOWN	% OF TOTAL
GLASS	1.56	33.3
BRICK	7.99	22.8
PAINT	4.86	17.5
WOOD	8.28	26.1
OTHER	1.1	4.0
TOTAL	34.79	100.0

